

# MEADOWBROOK WOODS

## HOMEOWNERS ASSOCIATION ARCHITECTURAL GUIDELINES



**MEADOWBROOK WOODS  
ARCHITECTURAL GUIDELINES  
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## **SECTION I GENERAL INFORMATION**

### **1.1 Objectives of Meadowbrook Woods Homeowners Association, Inc. Architectural Guidelines**

This document's objective is to guide homeowners, residents and members of the Architectural Review Board in maintaining and enhancing Meadowbrook Woods' environment. The guidelines described in this booklet address improvements for which homeowners most commonly submit applications to the Architectural Review Board (ARB). They are not intended to be all-inclusive or exclusive, but rather to serve as a guide to what is permissible. The specific objectives of this booklet are:

1. To increase residents' awareness and understanding of the Covenants.
2. To focus on all exterior alterations made by owners.
3. To describe the organizations and procedures involved with the architectural standards established by the Covenants.
4. To illustrate design principles, which will aid residents in developing exterior improvements that are in harmony with the immediate neighborhood and the community as a whole.
5. To assist residents in preparing an acceptable application to the Architectural Review Board.
6. To relate exterior improvements to the plans for Meadowbrook Woods Homeowners' Association (MWHOA).
7. To provide uniform guidelines to be used by the Architectural Review Board in reviewing applications.

### **1.2 Protective Covenants**

The basic authority for maintaining the quality of design in Meadowbrook Woods is founded in the Covenants, which are a part of the deed to every property in Meadowbrook Woods. The intent of Covenant enforcement is to assure residents that the standards of design quality will be maintained. This, in turn, protects property values and enhances the community's overall environment. Every Meadowbrook Woods property owner received a copy of the Covenants at settlement. All too frequently, the owner does not read this information. Since these Covenants "run with the land," they are binding on all owners, whether or not they have been read. They should be periodically reviewed and fully understood. The Covenants established the MWHOA and the Architectural Review Board (ARB).

All Owners and occupants shall abide by the By-laws and any rules and regulations adopted by the Association. Rules and regulations shall be adopted and enforced pursuant to the Virginia Property Owners' Association Act. Any Owner, his tenants, guests or other invites who violates the restrictions of this Declaration or the rules and regulations adopted by the Board of Directors shall be assessed a charge pursuant to Section 55-153 of the Virginia Property Owners' Association Act. (Article VI Section 11)

Any lease agreement between a Lot Owner and a lessee shall provide that the terms of the lease are subject in all respects to the provisions of this Declaration, and the Articles of Incorporation and Bylaws of the Association, and that any failure by the lessee to comply with the terms of such documents shall be a default under the lease. All such leases shall be in writing and shall be for a term of not less than six (6) months. (Article VI Section 12)

### **1.3 Role of the Meadowbrook Woods Homeowners Association and the Architectural Review Board**

The role of the MWHOA, of which every homeowner is a member, is not only to own and maintain open space, but also to conserve and enhance the resources of the total community.

The Homeowners' Association accomplishes these functions in a variety of ways, one of which is by ensuring, through the Architectural Review Board, the retention of harmonious, though diverse, design qualities of the

community. Surveys of planned communities show that providing this insurance is reflected in the preservation and enhancement of real estate values and is of prime importance to residents.

The Architectural Review Board performs its task of ensuring aesthetic quality of the homes and their environs by establishing and monitoring the architectural review process.

The Architectural Review Board ensures that proposed exterior alterations comply with the objectives set forth in the Covenants. This involves regular review of all applications for exterior alterations submitted by residents.

The ARB shall regulate the external design, appearance and locations of the Property and improvements thereon in such a manner so as to preserve and enhance values and to maintain harmonious relationship among structures and the natural vegetation and topography. In furtherance thereof, the Review Board shall:

- Review and approve, modify or disapprove, within forty-five (45) days, all complete written applications of Owners for improvements or additions to Lots or for modifications and changes to the improvements to the Lots. All applications not acted upon within forty-five (45) days shall be deemed approved.
- Periodically inspect the Property for compliance with architectural standards and approved plans for alterations.
- Adopt architectural standards subject to the confirmation of the Board of Directors.
- Adopt procedures for the exercise of its duties.
- Maintain complete and accurate records of all actions taken.

During reasonable hours the Declarant, any member of the ARB, or member of the Board of Directors, or any other representative of any of them, shall have the right to enter upon and inspect any Lot for the purpose of ascertaining whether or not the provisions of these restrictions have been or are being complied with, and such persons shall not be deemed guilty of trespass by reason of such entry (Article VI Section 14).

#### **1.4 ARB Application Procedures**

##### **1.4.1 What Changes Must Have ARB Approval?**

Article V of the Covenants explicitly states that all exterior alterations require the approval of the ARB:

**Building Restrictions.** No building, fence, wall or other structure shall be commenced, erected or maintained upon the Property, nor shall any exterior addition to or change or alteration therein be made (including change in color) until the plans and specifications showing the nature, kind, shape, height, materials, and location of the same shall have been submitted to and approved in writing as to harmony of external design and location in relation to surrounding structures and topography by the Architectural Review Board. (Article V Section 1)

This paragraph explicitly states that any change, permanent or temporary, to the exterior appearance of one's property must be approved by the ARB. Further, once a plan is approved, it must be followed or a modification must be approved in accordance with Article V, Section 1.

It is important to understand that ARB approval is not limited to major alterations such as adding a room or deck to a house, but includes such items as changes in color and materials, etc. Approval is also required when an existing item is to be removed.

Each application is reviewed on an individual basis. There are no "automatic" approvals, unless provided for specifically in these Guidelines. A homeowner who wishes to construct a deck identical to one already approved by the ARB for another homeowner is still required to submit an application.

There are two situations where an application is not required for an exterior alteration:

- Structures such as decks, which are offered as builder options and are shown on original site plans. These structures, if built to exact builder option specifications, have already been approved and, therefore, do not require an application.
- If it is clearly stated within these Guidelines that an application is not required for a specific alteration.

#### 1.4.2 Applications

Applications can be provided by Property Management, an ARB member or downloaded from the web site. The application forms provide information which may be useful in determining the scope and detail of the proposal. **All applications must include the signatures of all adjoining MBW's homeowners (or proxy) to indicate awareness of the proposal.** Their signatures do not necessarily reflect approval—just awareness.

All information requested on the application and specified in these Guidelines must be completed; otherwise, the application will be considered incomplete and will be returned.

An Exterior Alteration Checklist is provided in Appendix D to aid the applicant in identifying the information required for each alteration.

**Site Plan** - A site plan is required as part of most applications. A site plan is a scaled drawing of your lot (site) which shows exact dimensions of the property, adjacent properties if applicable, and all improvements, including those covered by the application. Contour lines are required where drainage is a consideration. In most cases, the site plan for single applications should be developed from the plat plan provided to you when you purchased your home. More complex applications may require larger scale (20- or 10- scale) blowups of the plat plan of county approved development or site plans.

#### 1.4.3 ARB Review Criteria

The ARB evaluates all submissions on the individual merits of the application. Besides evaluation of the particular design proposal, this includes consideration of the characteristics of the housing type and the individual site, since what may be an acceptable design of an exterior in one instance may not be in another. Design decisions made by the ARB in reviewing applications are not based on any individual's personal opinion or taste. Judgments of acceptable design are based on the following criteria, which represent in more specific terms the general standards of the Covenants.

1. Validity of Concept. The basic idea must be sound and appropriate to its surroundings.
2. Design Compatibility. The proposed improvement must be compatible with the architectural characteristics of the applicant's house, adjoining houses, and the neighborhood setting. Compatibility is defined as similarity in architectural style, quality of workmanship, similar use of materials, color and construction details.
3. Location and Impact on Neighbors. The proposed alteration must be compatible with the landscape, the existing structure and the neighborhood. The primary concerns are access, view, sunlight, ventilation and drainage. For example, fences may obstruct views, breezes or access to neighboring property; decks or larger additions may cause unwanted shadows on an adjacent patio property or infringe on a neighbor's privacy.
4. Scale. The size (in three dimensions) of the proposed alteration must be compatible with adjacent structures and surroundings. For example, a large addition to a small house may be inappropriate.
5. Color. Color may be used to soften or intensify visual impact. Parts of the addition that are similar to the existing house such as roofs and trim must be matching in color.

6. Materials. Continuity is established by use of the same or compatible materials as were used in the original house. The options may be limited somewhat by the design and materials of the original house. For instance, horizontal wood siding on the original house should be reflected in an addition. On the other hand, an addition with wood siding may be compatible with a brick house.
7. Workmanship. The quality of work should be equal to or better than that of the surrounding area. Poor practices, besides causing the owner problems, can be visually objectionable to others.
8. Timing. The alteration authority granted by the application to the ARB will be revoked automatically if the alteration requested has not been completed within the dates specified by the Prince William Building Permit, if applicable, or as specified by ARB approval letter.

#### **1.4.4 Review Procedure**

All applications shall be submitted to the current address of the current MBWHOA property management company. All applications will be received and reviewed by Management for completeness prior to submission to the ARB for formal review. Homeowners should allow sufficient processing time prior to each meeting for administrative processing.

Each application will be checked for complete information. If information, which is pertinent for the review of the application, is missing, the incomplete application will be returned to the applicant for additional information.

Only if the ARB determines that the application is complete, the review process begins.

The application will be reviewed by a quorum of the ARB. The ARB must act upon all applications within 45 days of receipt. Current ARB scheduled review meetings are the 1<sup>st</sup> Tuesday of each month unless otherwise posted on the clubhouse message board, in the newsletter, or on the web site.

Applicants with special cases that require an interpretation will be notified and asked to be present for the meeting concerning their application.

The decisions of the Architectural Review Board will be sent by letter to the address on the application, whether or not the applicant attends the meeting. The applicant must realize that the ARB decision is not binding until ten (10) working days after receipt to allow time for the appeal process.

Notification of approval or denial will only be sent to the applicant at the address on the application. Other affected residents who wish to participate in the appeal procedure must submit a written request to the ARB prior to, or during, the ARB meeting in which the application will be reviewed. If this written request is received, the requesting party will receive a copy of the ARB decision along with the applicant. Either the applicant or affected party may initiate an appeal in accordance with the procedures stated below in Section 1.4.5.

#### **1.4.5 Appeals Procedure**

An appeals procedure exists for those affected by an ARB decision: the first appeal is to the ARB; a second appeal can be made to the Board of Directors.

- To initiate the appeals procedure, the applicants or other affected residents must submit a written request to the ARB for an appeal within ten (10) days of receiving the ARB decision.
- The ARB has thirty (30) days to review the appeal and respond with its final decision.
- To initiate the second appeal, the applicant, or affected party, must submit a written request to the Board of Directors within ten (10) days of receiving the ARB appeal decision.
- Appeals will be heard by the Board of Directors if the applicant or those affected feel that the ARB failed to meet any of the following criteria:
  1. That proper procedures were followed during the administration and review process
  2. That the applicant and any other affected residents were given a fair hearing
  3. That the ARB decision was rational and not arbitrary

## **1.5 Enforcement Procedure**

The Covenants (Article V, Section 4) require the ARB to ensure compliance of all lots with Meadowbrook Woods architectural standards. The following enforcement procedures have been adopted by the Board of Directors:

1. All violations will be confirmed by a site visit by the ARB. A written notice will be mailed to the homeowner via U.S. mail.
2. If the violation is not resolved within 15 calendar days after the written notice, then a notice will be sent by certified mail informing the owner of the time and place of a hearing by the ARB concerning the violation.
3. If the violation cannot be resolved by the ARB, the violation will be turned over to the Board of Directors with a recommendation for legal action.
4. The Board of Directors has the right to suspend recreational facility rights in accordance with Policy Resolution No. 98-08-01.
  - Meadowbrook Woods Homeowners Association, Inc. shall provide notice to the offending member of the date on which recreational rights will be suspended.
  - The Board will specify the date on which any suspension of recreational facility rights shall be initiated.
  - The Board of Directors, at its sole discretion, may delegate the authority to select a suspension date to the chairperson of the Architectural Review Board or the Community Manager.
  - Such suspension shall be lifted at such time that the infraction is corrected.
5. The Board of Directors has the right, if infraction is not corrected, to impose assessments in accordance with Policy Resolution No. 96-06-01.
  - The Board will specify the date on which any assessments shall be initiated.
  - Such assessments shall be stopped at such time that the infraction is corrected.
6. The Board of Directors has the right to take further legal action if infraction is not corrected.

During reasonable hours the Declarant, any member of the Review Board, or member of the Board of Directors or any other representative of any of them, shall have the right to enter upon and inspect any Lot for the purpose of ascertaining whether or not the provisions of these restrictions have been or are being complied with, and such persons shall not be deemed guilty of trespass by reason of such entry. (Article VI Section 14)

## **1.6 Amendments to the Architectural Guidelines**

These Guidelines may be amended to provide clarification, or to reflect changed conditions or technology.

The ARB will conduct a periodic evaluation of the Guidelines to determine if amendments are required. Owners may submit to the MWHOA written requests for changes to the Guidelines. Upon review, the ARB Committee will make a recommendation to the Board of Directors. Amendments will require final adoption by the Board of Directors.

## **1.7 Disclosure Packet**

A Disclosure Packet as required by Section 55-512 of the Virginia code will be completed and issued to the lot owner upon written request prior to the closing of the sale of your home. This disclosure packet provides information on the current status of assessment payments and on the existence of any architectural violations.

Any exterior alteration which has been made since the builder completed his approved plan must have an approved Architectural Review Board application in the lot file for that address. Lack of an approved application constitutes a violation.

The disclosure packet helps to protect the future buyer against unknown problems with past owners' architectural changes. If everything is in order, it also protects the seller from potential lawsuits involving violations of the Covenants by subsequent owners.

To obtain a disclosure packet for your property, call the MWHOA, or their management representative, as soon as you know your settlement date.

## **SECTION 2.0 GENERAL REGULATIONS & MAINTENANCE**

### **2.1 General Maintenance**

Property owners are responsible for maintenance of all structures and grounds on their property. This includes, but is not limited to, such items as mowing grass, removal of trash, structural maintenance and overall appearance. These guidelines apply to all residents in Meadowbrook Woods (including Millbrooke section).

Each Owner shall keep their Lot and all improvements in good order and repair and free of debris, including but not limited to the seeding, watering and mowing of all lawns, the pruning and cutting of all shrubbery, and the painting (or other appropriate external care) of all buildings and other improvements, all in a manner and with such frequency as is consistent with good property management.

In the event an Owner of any lot shall fail to maintain the Lot and the improvements, the Association shall have the right to enter upon said Lot to correct drainage and to repair, maintain, and restore the Lot and the exterior of the buildings and any other improvements erected on the lot. Violations of maintenance standards are violations of the Covenants and are pursued under Article VII. All costs related to such correction, repair or restoration shall be come a lien levied in accordance with Section 8, Article IV.

### **2.2 Dwellings and Structures**

Residents are responsible for maintaining the exterior of their dwellings and any other structures on their lots, such as decks, fences, and playground-type equipment.

While it is difficult to provide precise criteria for what the Association deems as unacceptable conditions, the following cases represent some of the conditions which would be considered a violation of the Covenants:

- A) Peeling paint on exterior trim.
- B) Dented mailboxes, or mailboxes in need of repainting.
- C) Playground equipment which is either broken or in need of repainting.
- D) Fences with either broken or missing parts.
- E) Decks with missing or broken parts, or parts in need of restaining.
- F) Foundations in need of repainting.
- G) Dented, loose or missing siding.

Most residents would not allow any of the above conditions to exist, as they seek to preserve and protect their investment in their homes and to limit their personal liability by keeping all improvements on their lots in good condition. The Association expects that residents will do all maintenance necessary to prevent any of the cited conditions from occurring in Meadowbrook Woods.

### **2.3 Erosion Control and Drainage Management**

Residents are responsible for seeing that their lots are protected from erosion, and that storm drain structures are not blocked so as to cause additional erosion problems. Residents are responsible for maintaining proper drainage through their property, and for not blocking or hindering natural drainage from adjoining properties.

### **2.4 Firewood**

Firewood shall be kept neatly stacked and located to the rear of the residence, within owners' property lines.

Piles larger than three cords require approval. Piles longer than six feet should be a minimum of two rows deep. Piles must not exceed four feet in height for safety. Firewood piles must contain firewood only, not debris.

Location should be in such a manner as to minimize visual impact. In certain cases, screening may be required.

## **2.5 Flag Poles and Flags**

All flagpoles and flags must be properly maintained and kept in good condition.

## **2.6 Holiday Decorations**

Holiday decorations must not be displayed more than 30 days prior to a holiday and removed within 30 days after the holiday. Lighting in the yard must be placed so that light does not shine outside the property in a manner which could disturb neighbors. In particular, care must be taken in arranging the angle of spotlights so they do not glare into adjoining property windows.

## **2.7 Lawn and Garden Maintenance**

### **2.7.1 Mowing**

Turf areas need to be mowed at regular intervals, maintaining a neat appearance and a maximum height of six inches.  
Planted beds must be kept in a neat and orderly manner.

### **2.7.2 Weed Control**

Weeds shall be controlled in both lawn areas and planted beds.

### **2.7.3 Lawn and Garden Fertilization**

Special care should be taken not to over fertilize or to fertilize lawns and gardens where there is the chance of harmful runoff.

### **2.7.4 Pesticides and Herbicides**

Pesticides and herbicides may be applied according to label instructions for the specified problem. Emphasis should be placed on organic/biodegradable materials to ensure the least harm to the natural environment. Care in application is extremely important. Avoid the use of pesticides and herbicides if at all possible, but when necessary, use with caution and follow instructions.

## **2.8 Pets**

Pets must be leashed and controlled while in the Community and all pet waste collected and disposed by other Owner.

No animals, livestock or poultry of any kind shall be raised, bred or kept on any Lot. Dogs, cats or other household pets may be kept on the Lot subject to such rules and regulations as may be adopted by the Association and provided they are not kept, bred or maintained for any commercial purpose, or in unreasonable numbers. Notwithstanding the foregoing, no animals or fowl may be kept on the Property which result in an annoyance or are obnoxious to residents in the vicinity. (Article VI Section 8)

## **2.9 Signs (including Real Estate Sales/Rent Signs)**

No sign or billboard of any kind shall be displayed to the public view on any portion of the Property or any Lot, except the permanent entrance sign and one (1) sign for each building site, of not more than eighteen inches (18") by twenty-four inches (24"), advertising the Property for sale or rent, except signs used by Declarant or Participating Builder to advertise the Property during the construction and sales period. (Article VI Section 3)

Signs may only be placed in the front yard of the property available. Additional Real Estate signs may be displayed for up to 48 hours specifically for 'open house'. Signs must be removed immediately after event.

Signs or billboards posted in violation of this guideline will be subject to removal without warning.

## 2.10 Trash Control

All rubbish, trash and garbage shall be regularly removed from the Property, and shall not be allowed to accumulate. All clotheslines, refuse containers, wood piles, storage areas and machinery and equipment shall be prohibited upon any lot, unless obscured from view of adjoining Lots and streets by a fence or appropriate screen to be approved by the ARB.

Residents are responsible for picking up litter on their property as well as for debris on the open space which originated from their property.

Removal of trash and debris from all Association areas accumulating from resident usage will be completed as necessary. The removal of trash costs the Association; however, voluntary neighborhood cleanup, in addition to controlling litter at the source, saves everyone money.

Dumping of debris or lawn clippings on common areas/open space is prohibited.

Containers shall not be placed for pickup at appointed locations prior to 6:00 p.m. the previous evening. Trash is to be placed for pickup in appropriate metal or plastic containers manufactured for trash storage purposes only.

## 2.11 Vehicle Storage/Parking - Storage of Boats, Trailers, Campers, Mobile Homes, Recreational or Commercial Vehicles

No commercial, industrial or recreational vehicle (including boats) shall be parked on the Property without the written consent of the Board of Directors. No motorized vehicle may be used or maintained on the yards or sidewalks of any Lot or Common Area and no unlicensed vehicles are allowed on the Property. The Board of Directors shall have the right to tow any improperly parked vehicle or any vehicle, the keeping or parking of which in the Common Area violates this Declaration upon forty-eight (48) hours' notice. (Article VI Section 6)

The Board of Directors shall have the right to tow any junk vehicle, or other vehicle on which current registration plates are not displayed, which is within any Lot or on any part of the Common Area upon forty-eight (48) hours' notice. The repair or extraordinary maintenance of automobiles or other vehicles shall not be carried out on any of the Lots or Common Areas. (Article VI Section 7)

"**Recreational vehicle**" is defined as follows:

- a. Any boat, watercraft or boat trailer.
- b. Any motor home or other self-contained camper.
- c. Any camper slip-ons not mounted on the vehicle.
- d. Any mobile home, trailer or fifth-wheel trailer.
- e. Any pop-up camp/tent trailer or other similar recreation oriented portable or transportable facility or conveyance.
- f. Any other vehicle not defined above which could not normally or regularly be used for daily transportation, including dune buggies, nonoperative automobile collections, or other automotive equipment not licensed for use on the highways of Virginia.
- g. Visiting RVs may be parked up to 14 days in the driveway of a resident's home by obtaining a temporary permit from the ARB.

**Commercial Vehicles** - For the purposes of requiring screened parking and storage on a lot in Meadowbrook Woods, the following vehicles shall be treated in the same manner as recreation vehicles:

- a. Any vehicle defined as commercial by Prince William Code.
- b. Any vehicle that has commercial signs or advertising or visible commercial equipment.
- c. Any private, school or church buses.

## SECTION 3.0 EXTERNAL ALTERATIONS

Applications are required for all exterior changes to property or house, unless otherwise specifically stated in these guidelines. Application Form is provided in Appendix C. A Checklist of required information for each application is provided in Appendix D.

Millbrooke Residents should review Section 4.0 for additional guidelines designated in accordance with Policy Resolution No. 97-0116-01 for that section of Meadowbrook Woods.

Major alterations are generally considered to be those which substantially alter the existing structure either by subtraction or addition. Major building alterations include, but are not limited to: rooms, screened porches, garages, driveways, solar panels/collectors, patios, decks, fences, pools and recreational/play equipment. See individual categories for additional guidelines.

Several types of changes may be combined on one application.

The design of major alterations shall be compatible in scale, materials and color with the applicant's house and adjacent houses. The location of major alterations shall not impair the views or amount of sunlight and natural ventilation on adjacent properties.

Pitched roofs on new structures shall be architecturally compatible with the roof on the existing house.

New windows and doors shall match the color and design type used in the applicant's house and should be located in a manner which will relate well to the location of exterior openings in the existing house.

If changes in grade or other alterations that will affect drainage are anticipated, they must be indicated. Approval will be denied if adjoining properties are adversely affected by changes in drainage.

Construction materials must be stored to minimize impairment of views from neighboring properties. Excess material shall be immediately removed after completion of construction. No debris may be allowed to accumulate during construction.

Some alterations, including but not limited to retaining walls, decks, fences, room additions, swimming pools, and any structures encroaching storm water management easements will **require county approval and permits**. Owners must contact appropriate county office for current requirements. The county permits and approvals must be obtained by the homeowners in addition to the ARB approval for compliance with MBW Architectural guidelines. **The ARB approval does not override nor waive the homeowner's responsibility to meet county ordinance and permit requirements.**

### Application Contents

In most cases, only a single application is required. For extensive changes, a preliminary application for conceptual approval may be submitted. Application forms are to be obtained from the ARB, Management, or the MBW website (if available) and must include:

1. Site plan showing location of proposed structure and relationship to property lines.
2. Detailed drawings and plans which include exterior elevations and dimensions.
3. Description of materials, including such items as type of siding on dwelling and proposed structure, colors, exterior lighting arrangements, et al., where applicable.
4. Major landscape plans.
5. Estimated start and completion date.
6. Architectural drawings must be included for some changes.

An 'Architectural Application Checklist' is provided in Appendix D to identify the specific information required for each alteration.

### **3.1 Address Numbers**

House numbers will be black or brass in color, and not more than 6 inches in height. Address numbers are required on all houses. An application is not required if these conditions are met.

### **3.2. Air Conditioners - Exterior Unit**

Air-conditioning units extending from windows are prohibited.

Exterior units may be added or relocated only when they do not interfere visually with neighbors. Units are not permitted in front of house.

### **3.3 Antennas**

No radio or television receiving or transmitting antennae or external apparatus shall be installed on any Lot. Normal radio and television installation wholly within a building are excepted. (Article XI Section 10)

Exterior antennas are discouraged. However, in accordance with new FCC regulations video reception antennas that receive and transmit fixed wireless signals are not prohibited. Antennas shall be in the least visible location possible without impact to reception.

### **3.4. Attic Ventilators and Metal Flues**

No application is required if the following guidelines are met:

Attic ventilators and turbines are permitted. Roof location shall be on the least-visible side of the roof peak. They may be painted to match the siding or trim-color on the house if mounted on a gable end, or they may be painted to match the roof if placed on a roof.

Large metal flues and any vent through the roof may be painted to match roof color.

Roof location shall be on the least-visible side of the roof peak

### **3.5 Arbors – See Section 3.39, Trellis/Arbor/Gazebos**

### **3.6 Awnings**

Application is required if awning will be permanently attached.

Awnings must be compatible in style, color and materials with the architectural character and design of the house to which they are attached. Frames for canvas awnings must be painted to match trim or dominant color of the house. If awnings are removed for winter storage, frames must be removed.

The location of any awning must not adversely affect views, light, winter sun or natural ventilation of adjacent properties. Solid colors are required.

### **3.7 Chimneys**

Application is required. Chimneys may be masonry or enclosed. Enclosed chimneys must be made of the same materials and same color as the house siding. Chimney caps must be painted, and any vent through the roof may be painted to match roof color.

### **3.8 Clotheslines**

No application is required but the following conditions must be met:

Clotheslines must be located behind the house, not be visible from the street and must be taken down when not in use.

### **3.9 Compost Piles**

Compost piles are generally discouraged, but if allowed must be properly maintained so as not to be offensive to the neighbors.

Compost piles must be constructed of a wooden outside frame with wire or block interior. These piles must have a screen-planting plan submitted with each application. Compost piles must not exceed four feet in height and 6' x 6' in outside dimension; they must be located at least 10 feet from a lot line, and in the rear of the house.

All active compost-piles must have a six-inch layer of straw spread atop them at all times to prevent odors from escaping. All compost piles must be maintained and turned periodically to ensure the proper destruction of bacteria and weed seeds by heat.

Failure to maintain a satisfactory compost-pile or allowing the compost pile to become a public nuisance shall be a violation of these guidelines.

### **3.10 Decks and Patios**

An application is required for all patios and decks. Patios or decks shall be located in rear yards. When patio or deck schemes include other exterior changes, such as fencing, lights, plantings, etc., other appropriate sections of these Guidelines should be considered during the completion of the application.

Deck colors shall be natural wood, natural wood color products or painted to match the trim or dominate color of the house.

#### **3.10.1 Patios**

Application is required for a patio and should include dimensions, colors, material and location.

#### **3.10.2 Ground Level Decks**

Application is required for all decks. A ground level deck is 24 inches or less in elevation.

Application should include dimensions, colors, material and location. Ground level decks do not require handrails. If handrails are included, refer to elevated deck for additional requirements.

#### **3.10.3 Elevated Decks**

Application is required for all decks. All elevated decks shall be constructed in accordance with Prince William County Building Code. Application should include dimensions, colors, material and location.

Decks with supports more than five feet in height must have landscaping around the supports to soften the visual impact. Landscaping shall be of a permanent nature, such as bushes or trees, and height at maturity shall be such that most or all of the height of the supports will be screened.

Approval must be obtained for under deck storage. Indicate on the application whether or not under deck area will be used for storage. If so, area must have lattice work or solid walls to enclose underdeck area used for storage.

### **3.11 Decorative Objects (Exterior)**

Exterior decorative lawn objects include such items as bird baths, wagon wheels, sculptures, fountains, pools, ponds, stumps, driftwood piles, boulders, free standing poles of all types and items attached to approved structures.

Application is required for:

Any object that can be seen from the street or by neighbors.

Any object in front or side yards

Application is not required for:

Any object that can not be seen from the street or by adjacent neighbors.

Application is not required for Ornamental Benches if the following criteria are met:

Material – Cast Aluminum, wrought iron, cement, stone or wood.

Colors – Black, white, brown, beige, dark green or natural wood.

Size – 5 feet or less in length

Location – Porch, stoop or within 10 ft of house

Application is not required for a maximum of four (4) shrub/Flower planters if the following criteria are met:  
Size – no more than 18 inches in diameter and 24 inches in height.  
Color - Black, white, brown, beige, dark green, natural wood or terra cotta  
Location – Porch, stoop, front walkway, driveway or within 10 ‘ of house.  
All planters shall be appropriately maintained in accordance to the season.

Anything not submitted for application can still be open to review of the ARB for compliance with these criteria.

Approval is required for all exterior decorative objects, including natural and man-made that are not covered in other sections of these guidelines. Consideration will be given to size, style and number of items to maintain compatibility and harmony with community design.

### **3.12 Dog Houses, Runs, and Animal-Entry Doors**

Application is required for doghouses. Structure must be compatible with the applicant's house in color and material, or match an approved wood fence. They must be located where they will be visually unobtrusive.

Dog runs are not allowed.

Application is not required for animal-entry doors provided the following requirements are met:

The location must lead into the fenced rear area where the animal is restricted.  
The entry door is painted to match the siding (or anodized aluminum is acceptable).

### **3.13 Driveways**

Application is required for driveways. Extensions and additions to driveways will be considered when a thorough investigation of the impact on adjoining properties is completed. Driveway additions must be constructed using the same material as the existing driveway and must not adversely affect drainage on adjacent properties.

### **3.14 Fences**

An application is required for all fencing. No portion of the fencing will extend forward of the back corners of the house. The ARB will consider a request for waiver of this requirement based solely on lot grading or slope conditions.

The preservation of open space and natural features enhances Meadowbrook Woods. Fencing, if it is carelessly used or placed, encroaches upon open space and can even destroy it. An inconsiderately placed fence can box in a neighbor or destroy his view.

Appendix A includes the approved fence types for Meadowbrook Woods. These types have been selected in an effort to balance the needs for property security and privacy against the desire for openness.

All fence materials must be either be pressure-treated (P/T) wood, cedar or redwood. Fencing which is finished on one side only must be constructed with the finished side facing out.

The ARB strongly recommends that the wood be allowed to weather naturally. Stains of natural wood colors will be considered.

Gates must be compatible with fencing in design, material, and height.

Wire-mesh screening may be added to the fence to increase security. The wire mesh must be attached on the inside of the fence and will not extend above the top rail. The only approved wire mesh is 2" x 4" galvanized or vinyl-coated (black or dark-green).

Chain-link or other fencing materials are not allowed.

### **3.15 Flagpoles**

Application is required for permanent flagpoles. Poles must be of a height, color and location appropriate for the size of the property and background. Permanent freestanding flagpoles must be installed and maintained in a vertical position. Height of pole shall not extend beyond the peak of the house. If flagpole is to be illuminated, see section 3.23, lighting, for additional requirements.

Applications are not required to use temporary flagpoles that do not exceed six feet in length and which are attached at an incline to the front wall or pillar of the house.

### **3.16 Gardens**. See Section 3.22, Landscaping/Gardens

### **3.17 Greenhouses**

Detached greenhouses are not allowed. Attached greenhouses are reviewed by the ARB as room additions - See Section 3.30, Room Addition.

### **3.18 Grills & Barbecue Pits (Permanent)**

Application is required for permanent grills or barbecue pits. They should be placed in the rear of the house and must not be located within 10 feet of the side and rear property lines.

### **3.19 Gutter and Downspouts**

Application is not required. The following criteria must be met.

- Gutters and downspouts must match those existing in color and design and must not adversely affect drainage on adjacent properties.
- Gutter guards shall not be visible or shall match the color of either the gutter or the roof.

### **3.20 In-Home Businesses**

In-Home Business proposed within the MBW's community will be conducted in accordance with Policy Resolution No. 97-05-30.

Prince William County regulates in - home businesses; permits must be obtained. Customer intensive businesses that frequently attract large numbers of vehicles to the resident's neighborhood are not allowed.

The following special requirements must be met:

- a. Copy of Prince William permit filed with the MWHO.
- b. No sign or other advertising device of any nature shall be placed upon any lot.
- c. No exterior storage of business related materials will be allowed.
- d. No employment of persons within the private residence unless, otherwise approved by the Board of Directors.
- e. No use or presence of commercial vehicles within the community.

### **3.21 Insect Traps (Electronic)**

Application is not required for insect traps if:

Device is installed and maintained in such a way as to not cause discomfort to adjacent owners from noise. Large devices must be located in the rear yard.

### **3.22 Landscaping/Gardens**

#### **3.22.1 General Plantings**

An application is required for hedges or other features which, in effect, become structures, fences or screens located within 5 feet of the property line. The location must provide a

reasonable distance from property line to allow maintenance without encroaching onto neighbor's property.

An application is not required for trees, single plantings, or planting beds but shall not adversely affect drainage on adjacent properties.

Landscaping and gardens shall not obstruct sight lines required for vehicular traffic.

All gardens must be neatly maintained; this includes timely removal of all unused stakes, trellises, and dead growth.

### **3.22.2 Borders/Garden Walls**

An application is required for garden wall and landscape borders that form a wall higher than 12 inches for a length of 8 feet or more. Application is not required for walls that do not meet that criteria if the following conditions are met:

- Borders and walls will be made of wood, brick, stone, concrete or natural looking materials and colors will be earth-tones, white, gray or brick (to match brick color on house).
- Border and walls shall not divert the flow of water onto a neighboring lot.
- No wall or border shall be maintained in such a manner as to obstruct sight lines for vehicular traffic or as to interfere with the purpose for which easements have been established either as to installation, maintenance, or access.

### **3.22.3 Landscape Lighting** – See Section 3.23, Lighting.

### **3.22.4 Retaining Walls**

Application is required for retaining walls. Retaining walls must be neutral in color and made of railroad ties, landscaping timbers, stones, brick or reinforced concrete. Wood will be allowed to weather naturally and not be painted. Walls may not divert the flow of water onto a neighboring lot. No wall shall be maintained in such a manner as to obstruct sight lines for vehicular traffic or as to interfere with the purpose for which easements have been established either as to installation, maintenance, or access. Retaining wall may also require a county permit.

### **3.22.5 Rock Gardens**

An application is required for any single rock exceeding 24 inches in height or diameter, rock gardens, or any collection of rocks. All rocks shall be left their natural color.

### **3.22.6 Vegetable Gardens**

An application must be submitted for a vegetable garden that does not meet the following conditions:

- a. It is located between the rear line of the house and the rear property line and sidelines of the house.
- b. Its size does not exceed 1/4 of the area described in (a).
- c. It does not damage other property through the flow of water.

## **3.23 Lighting**

Exterior lighting added to the front of a home must match or complement existing lamp styles. Ground level lights bordering driveways must be unobtrusive in nature, with a black or dark green finish. Lighting in the yard must be placed so that light does not shine outside the property in a manner which could disturb neighbors. In particular, care must be taken in arranging the angle of spotlights so they do not glare into adjoining property windows.

Application is not required for low voltage lighting in the rear yard as long as the lighting does not shine in a manner which could disturb neighbors.

### **3.24 Mailboxes**

An application is not required if the box and/or post are replaced with the approved style shown in appendix B and the following criteria are met.

- All mailboxes will be consistent with the Black #9 mailbox style and size.
- The post shall be uniform in design and not deviate from those installed by the builder.
- Posts shall be made of natural wood, wood product, metal, or vinyl.
- Colors shall be natural wood, brown, black or white.
- Examples of replacement design and style not requiring an application are shown in Appendix B.

### **3.25 Painting**

Exterior painting requires an application except when repainting or staining a specific object to match its original color. Color changes apply not only to the house siding, but also to the doors, shutters, trim, roofing, and other appurtenant structures. Change of exterior color should relate to the colors of the houses in the immediate area. Colors must be consistent with matted or subdued colors in original neighborhood theme defined by the initial builders. No high gloss or bright colors. Paint samples provided for review must be accurate and depict the finish and color of the paint to be used.

### **3.26 Ponds/Water Features**

Ponds, waterfalls, or other water features require application. They must be located in rear yard. Consideration will be given to size, color, material and compatibility with other associated structures.

### **3.27 Recreational and Play Equipment**

The desire for swings, basketball backboards, tot lots, etc., on detached lots or neighborhood property is frequently expressed. The guidelines listed below are provided in an effort to reconcile the need for play equipment with the goal of minimizing its visual impact. Careful thought should be given to location and kinds of equipment to be installed.

#### **3.27.1 Play equipment (except Basketball Poles & Backboards)**

Application is required for play equipment.

Equipment must be placed in rear yards. Consideration must be given to lot size, equipment size and design, and amount of visual screening. Location of equipment must be at least 10 feet from property lines.

Border around play equipment must be in accordance with specifications identified in Section 3.22 Landscaping/ Gardens for garden walls/borders.

Play equipment constructed of wood is encouraged. Unfinished galvanized gray play equipment is acceptable. Painted metal play equipment, exclusive of the wearing surfaces (slide poles, climbing rungs, etc.), should be dark earth tones to blend with the natural surroundings or, if located adjacent to a dwelling or fence, painted to match the backboard or screening structure. Other play equipment colors will be considered, contingent upon location and landscaping.

#### **3.27.2 Basketball (Poles & Backboards)**

No application is required for basketball equipment poles & boards if it meets following the criteria:

- Basketball backboards secured to detached houses or garages should be painted to match or blend with the background. A contrasting rectangular color outline may be painted on the backboard behind the goal.
- Free standing basketball backboards and their poles should be dark earth tones to blend with the natural surroundings or, if located adjacent to a dwelling or fence, painted to match the backboard or screening structure.
- Basketball poles and backboards must be located at least 5 feet from property lines and 10 feet from the street line. Portable Basketball poles shall not be kept in the street.

**3.28 Retaining Walls**– See Section 3.22, Landscaping/Gardens

**3.29 Rock Garden** – See Section 3.22, Landscaping/Gardens

### **3.30 Room Additions**

An application is required for all room additions. The design of major alterations should be compatible in scale, materials and color with the applicant's house and adjacent houses. The location of major alterations should not impair the views or amount of sunlight and natural ventilation on adjacent properties.

Pitched roofs on new structures should be architecturally compatible with the roof of the existing house.

New windows and doors should match the color and design type used in the applicant's house and should be located in a manner which will relate well to the location of exterior openings in the existing house.

If changes in grade or other alterations that will affect drainage are anticipated, they must be indicated. Approval will be denied if adjoining properties are adversely affected by changes in drainage.

Construction materials must be stored to minimize impairment of views from neighboring properties. Excess material should be immediately removed after completion of construction. No debris may be allowed to accumulate during construction.

### **3.31 Screened Porches & Sun Rooms**

An application is required for all screened porches and sunrooms and will be reviewed in same manner as room additions – See Section 3.30, Room Additions, for requirements.

### **3.32 Sidewalks and Pathways**

An application is required for sidewalks and pathways. New stone, brick, and concrete sidewalks and pathways should be set back at least four feet from the property line and should generally be installed flush with the ground. Resurfacing or realigning existing walks also requires application.

### **3.33 Solar Energy Devices**

#### **3.33.1 Solar Collectors (Solar heated water systems)**

An application is required for solar collectors . Panels shall be mounted to rear side of the roof, may be elevated or flush-mounted. If elevated, they shall not extend above the roof peak so far that they are visible from the yards of facing houses across the streets or pipestems. No other mounting locations are acceptable.

### **3.33.2 Solar Powered Attic Fans**

See Section 3.4, Attic ventilators and metal flues for fan location and application requirements. The associated photoelectric cell shall be mounted in the same manner as listed above for Solar Collectors.

### **3.33.3 Solar Powered Landscape Lighting**

Solar powered landscape lighting shall be allowed provided the photoelectric cell is less than 4" x 4" and an integral part of the lighting fixture. See Section 3.23, Lighting, for application requirements and color and style criteria.

### **3.34 Spas and Hot Tubs**

- Spas and/or hot tubs must be located in the rear of the house and approach the property line no closer than five (5) feet.
- Appropriate screening and/or landscaping shall be required to minimize visual impact of spa from adjacent neighbors and from the street.
- Spas and/or hot tubs shall not be more than 50% of the back yard.

### **3.35 Storage Sheds**

Storage sheds of any type are not allowed.

### **3.36 Storm and Screen Doors**

Storm/screen doors should be basic in design without such ornamentation as scrolls. Minimum ornamentation may be allowed but is limited to borders of glass/screen opening. Decorative items such as imitation gate hinges and ornamental grillwork are prohibited.

Doors with less than full view require an application. Approval will depend upon the design of the particular door and its relation to the design of the house and neighborhood standard.

Application is not required for the following:

- Full view doors the same color as the entry doors or surrounding trim.
- Storm and screen window-frames if they match the trim color of the house, or are white or anodized aluminum.
- Storm or screen doors in back of house if they are white, match trim color or are anodized aluminum with no ornamentation.
- Storm windows with frames that match the trim color.

### **3.37 Swimming Pools**

Application is required for all swimming pools. Only in-ground pools are allowed. Swimming pools must be located in the rear of the house and approach the property line no closer than five (5) feet.

A fence from four (4) to six (6) feet high meeting requirements as defined in Section 3.14 (Fences) and county requirements will be required to enclose the pool.

Landscaping is required around pool related equipment if it is not located inside the fence. Landscaping is required around fence, if the fence is not located on property boundary. Swimming pools shall not be more than 50% of the back yard.

### **3.38 Tree Removal**

We want to keep the 'Woods' in Meadowbrook Woods and discourage removal of any trees except when there is concern for safety, disease or property damage. In addition, natural vegetation on slopes and around the storm water management areas is critical to natural water flow management and protection from erosion.

Prior justification and approval of the ARB is required for removal of living trees with a diameter in excess of four inches (measured 12" inches above ground), or flowering trees (such as dogwood or redbud) or broad leaf evergreen trees in excess of two inches in diameter, similarly measured. Also, on slopes of greater than 20% gradient, no natural vegetation may be cut without prior approval of the ARB.

Residents are advised to consult with the County Arborist for compliance with county ordinances on tree cutting.

Dead trees may be removed without approval.

### **3.39 Trellis/Arbor/Gazebo**

Trellises must be compatible with the architectural character of the house in terms of style, color and materials. They should be consistent with the design of the houses to which they are attached.

The location of any trellis, arbor or gazebo must not adversely affect views, light, winter sun or natural ventilation of adjacent properties.

Trellis work must match the trim or deck, if part of the deck, or match the dominant color of the applicant's house.

Detached landscaping trellis must be located in the back or side yard. Material may be natural wood or other materials in earth tones, black, white or painted to match the house.

Gazebos can be attached or detached. They must be compatible with the architectural character of the house in terms of style, color and materials. If attached to a deck it must match the materials and colors of the deck. If it is detached, it will either match the house colors or be natural wood color. Roofing must match the house or be cedar shakes. Location must not affect drainage onto adjacent properties.

### **3.40 Vegetable Garden – See Section 3.22, Landscaping/Gardens**

## **SECTION 4 MILLBROOKE SECTION ARCHITECTURAL GUIDELINES**

### **4.1 Description of Property**

These Architectural Guidelines shall govern the property known as Lots 1 through 45, Parcels A and C, Millbrooke (hereinafter referred to as “Property” or “Millbrooke”), as the same is more particularly described in the Supplementary Declaration to the Declaration of Covenants, conditions and Restrictions recorded in Deed Book 2265 at Page 108 of the land records of Prince William County, Virginia. This Section is comprised of the following streets within Meadowbrook Woods: Pembridge St, English St, Paddle Wheel Ct, Salmon Run Ct, and Mill Race Ct.

Regulations specified in this section for Millbrooke residents will take precedence over any similar guidelines specified for the Meadowbrook Woods community. Any architectural alteration not specifically identified in this Section 4 must be in accordance with the general guidelines in Section 2 & Section 3 of this document.

### **4.2 Approval of Architectural Review Board**

1. To construction or installation of any improvements, or reconstruction, repair, refinishing, change of exterior color, addition to or alteration of any part of the exterior of any improvements; or removal or planting of any trees, hedges or shrubs or any landscaping activity, or any excavation, fill, change in grade or similar activity which alters the exterior appearance of any portion of the Property (such activity being called, individually and collectively, “Controlled Activity”) shall be commenced or performed until the Architectural Control Board (hereinafter “Board”) shall have received and approved in writing such plans, specifications and other information prepared by or on behalf of an Owner as are necessary, in the sole opinion of the Board, to determine the extent of the proposed activity and the manner in which it is to be performed.
2. All submissions to the Board must be sealed by Licensed Virginia engineer (in the case of site grading and house location plans and design of septic systems, well and driveways) or a licensed Virginia architect (in the case of architectural design and construction documents). The Board may withhold approval of any activity if it, in its sole but reasonable discretion, determines for any reason whatsoever that the proposed activity is in any manner incompatible with the general architectural scheme of Millbrooke, is not in harmony with other improvements, is incompatible with the topography of a lot or any land adjacent thereto, is not in the best interests of the Owners, is in violation of or incompatible with any of the laws or ordinances of the County of Prince William, or will have an adverse effect upon other owners in their use and enjoyment of their lots.
3. Applications for approval of a proposed activity shall be submitted to the Board in writing, in triplicate, and shall include adequate site plans, building plans, specifications and other information as aforesaid. **IN THE EVENT THE PROPOSED ACTIVITY REQUIRES THE APPROVAL OF THE APPROPRIATE AUTHORITIES OF THE COUNTY OF PRINCE WILLIAM, APPLICATIONS (SPECIFICALLY INCLUDING COPIES OF ALL SITE PLANS AND BUILDING PLANS) SHALL BE SUBMITTED TO THE BOARD NO LATER THAN THE DATE OF THEIR SUBMISSION TO THE COUNTY OF PRINCE WILLIAM.** Any proposed material modification of any plans or specifications, for any reason whatsoever, shall be promptly submitted to the Board, in writing, in triplicate.
4. The Board shall approve or disapprove the application or proposed modification within forty-five (45) days after receipt thereof. If the Board does not disapprove the Controlled Activity application or modification within forty-five (45) days after receipt thereof, the application or modification shall be deemed approved. In granting an approval of a proposed activity, the Board may impose any conditions or limitations thereon which it, in its able but reasonable discretion, deems advisable. Any Controlled Activity shall be performed strictly in accordance with the terms and conditions of the approval given by the Board. If the Board disapproves a proposed activity, such disapproval shall state in writing the specific reasons for the disapproval.

#### **4.3 Condition of Use**

No use shall be permitted or maintained in, on, under or over the Property or any Lot or any improvements thereof which violates any law, statute, ordinance, rule or regulation of any governmental or quasi-governmental body having jurisdiction thereof.

#### **4.4 Use of Lots**

The Lots shall be used for residential purposes exclusively, and no building shall be erected, altered, placed or permitted to remain on any such Lot other than one used as a single family dwelling. (Article VI Section 1)

Except as may be permitted by Section 1 of the Declaration of Covenants, no part of the Property shall ever be used or caused to be used or allowed or authorized in any way, directly or indirectly, for any business, commercial, manufacturing, mercantile, storing, vending or other such non-residential purposes, except Declarant and participating Builder may use the Property for model home sites and display and sales offices during the construction and sales period. (Article VI Section 2)

No structure of a temporary character, trailer, basement, tent, shack, garage, barn or other outbuilding shall be used on any Lot at any time as a residence either temporarily or permanently. (Article VI Section 5)

Each Lot shall be used for residential purposes only, except for home occupations permitted under the Prince William County Zoning Ordinance (“Zoning Ordinance”).

#### **4.5. Improvements**

1. Without limiting the scope and authority of the Architectural Review Board, any dwelling erected on any lot shall have a living area of not less than 2500 square feet for two story houses and 2400 square feet for one and one half story houses, all exclusive of garages, basements, breezeways, porches, or decks. All walkout basements shall be either brick to grade or poured concrete foundation painted to match siding color. The front elevation shall be brick, stone, stucco (Dryvit), masonite or wood. No vinyl or aluminum siding shall be permitted. The rear and two sides can be wood, masonite, vinyl or aluminum siding. The roof shall be upgraded asphalt shingles or cedar shake. No aluminum awnings shall be allowed. The homes shall be generally either a Colonial, Tudor, or Soft Contemporary Style.
2. All residences must have a minimum 8 ½ roof pitch. All chimneys must be of masonry construction. All garages must be side loading unless the Lot does not allow.
3. The driveways and private roads must be covered in asphalt or concrete. Each Owner shall then be responsible for placing a driveway pipe in accordance with the standards of the Virginia Department of Transportation. The pipe must be installed PRIOR to any construction on the Lot. On Lot siltation control shall be the sole responsibility of the Lot Owner.
4. No playground, jungle gym, swing set or similar apparatus shall be constructed predominantly of metal, aluminum, plastic, or the like, but shall be constructed predominantly of wood, rope and/or rubber. Outdoor lighting, private swimming pools and accessory structures, tennis courts and accessory structures, and all other recreational facilities shall be permitted only at the sole and absolute discretion of the Architectural Review Board which shall review and approve the proposed design and location of such improvements.

#### **4.6 Diligence**

The construction of any Improvement shall be diligently pursued to completion, and shall be completed within eighteen (18) months after such construction has been commenced.

#### **4.7 Temporary Structures**

No trailer, tent, mobile home or any temporary structure shall be used as a residence on any Lot.

#### **4.8 Fences**

Any fence constructed upon the Property shall be unfinished, pressure-treated wood in either vertical board-on-board, picket design, or approved 4' fence style identified in Appendix A and shall not extend beyond the front building line (wall) of the residence on the Lot upon which any such fence is erected or the front building line (wall) of the residences on all immediately adjacent Lots, or with respect to a corner Lot, from the side building line facing the street to the side lot line. No fence shall be more than four (4) feet in height, unless required by Prince William County regulations as part of the installation of a private swimming pool or by special exception for properties that border Rt 234 approved by the Architectural Review Board. Chain link and other wire fencing is specifically prohibited. Wire mesh screening attached to the interior side of the fence to increase security is permissible; however, said wire mesh shall not extend above the top rail of the fence.

#### **4.9 Signs**

No sign of any kind shall be displayed to public view on any Lot except one sign advertising the Lot for sale or rent and one sign not to exceed 12 inches by 18 inches identifying the occupants of the Lot. The provisions of this Section 8 shall not apply to any Lot owned by the Declarant during the first ten (10) years following the Effective dates hereof or to any entrance sign(s) to the Property located on sign easements, if any.

#### **4.10 Boats and Recreational Vehicles**

All boats, trailers, recreational vehicles, camper units and motor homes shall be kept within a garage or otherwise screened so as not to be visible from any street, ingress-egress easement or any abutting Lot.

#### **4.11 Underground Utilities**

All telephone, electric, cable television and other utility service lines and connections shall be located underground or otherwise concealed so as not to be visible from any street, ingress-egress easement or by abutting Lot or other abutting properties.

#### **4.12 Lot Maintenance**

All landscaping, including existing natural vegetation, foliage, trees and shrubs, shall be maintained in a neat, clean and adequate manner, and all Lots including unimproved Lots, shall be kept neat, clean and free of debris. Lawns shall be cut and trimmed on a regular basis. Owners shall maintain all exterior portions and surfaces of improvements in good condition and repair and in a manner which will prevent the same from becoming unsightly. In the event of damage or destruction to all or any portion of the improvements on a Lot, the owner either shall promptly restore and rebuild such improvements or shall promptly demolish and raze such improvements, fill all excavations and perform such other work as may be necessary to put the Lot in a clear, sightly and safe condition.

#### **4.13 Street Maintenance**

1. Each owner shall protect the pavements, curbs, gutters, walks, streets, shoulders, utility structures and storm water management facilities lying within any area dedicated for public use or any utility or other easement area, or on any other Lot, from damage during any periods of construction activity on such Owner's Lot, and further such Owner shall promptly repair any damage that may be done by such Owners or his contractors, agents and employees. In addition, streets affording access to such Owner's Lot shall be cleaned by the Owner whenever construction activity into and out of the Lot renders such streets in need of cleaning in order to keep their neat and attractive appearance. If any Owner shall fail to perform such street cleaning, the Declarant shall have the right to clean the street as needed, and such Owner shall immediately pay to Declarant the costs of such cleaning plus twenty percent.
2. The Declarant shall have the right to repair any damage to any pavements, curbs, gutters walks, streets, shoulders, utility structures and storm water management facilities caused by any Owner or such Owner's contractors, agents, employees, guest and invitees, and such Owner shall immediately pay to Declarant the costs of such repair plus twenty percent.

#### **4.14 Soil Erosion Control Measures**

No building, grading or clearing shall be commenced on any Lot until a crushed rock driveway has been installed for a distance of fifty (50) feet into said Lot and such driveway shall be maintained so as to prevent the depositing or accumulation of mud, dirt, rock or debris upon Millbrooke's roads and proper soil erosion control measures have been installed in accordance with Prince William county requirements. If any driveway crosses a roadside ditch, then a culvert pipe sized in accordance with local requirements shall be placed in such ditch in order to maintain storm water drainage in the ditch. All access to any Lot during construction shall be strictly limited to such crushed rock driveway and culvert pipe.

# **APPENDIX A**

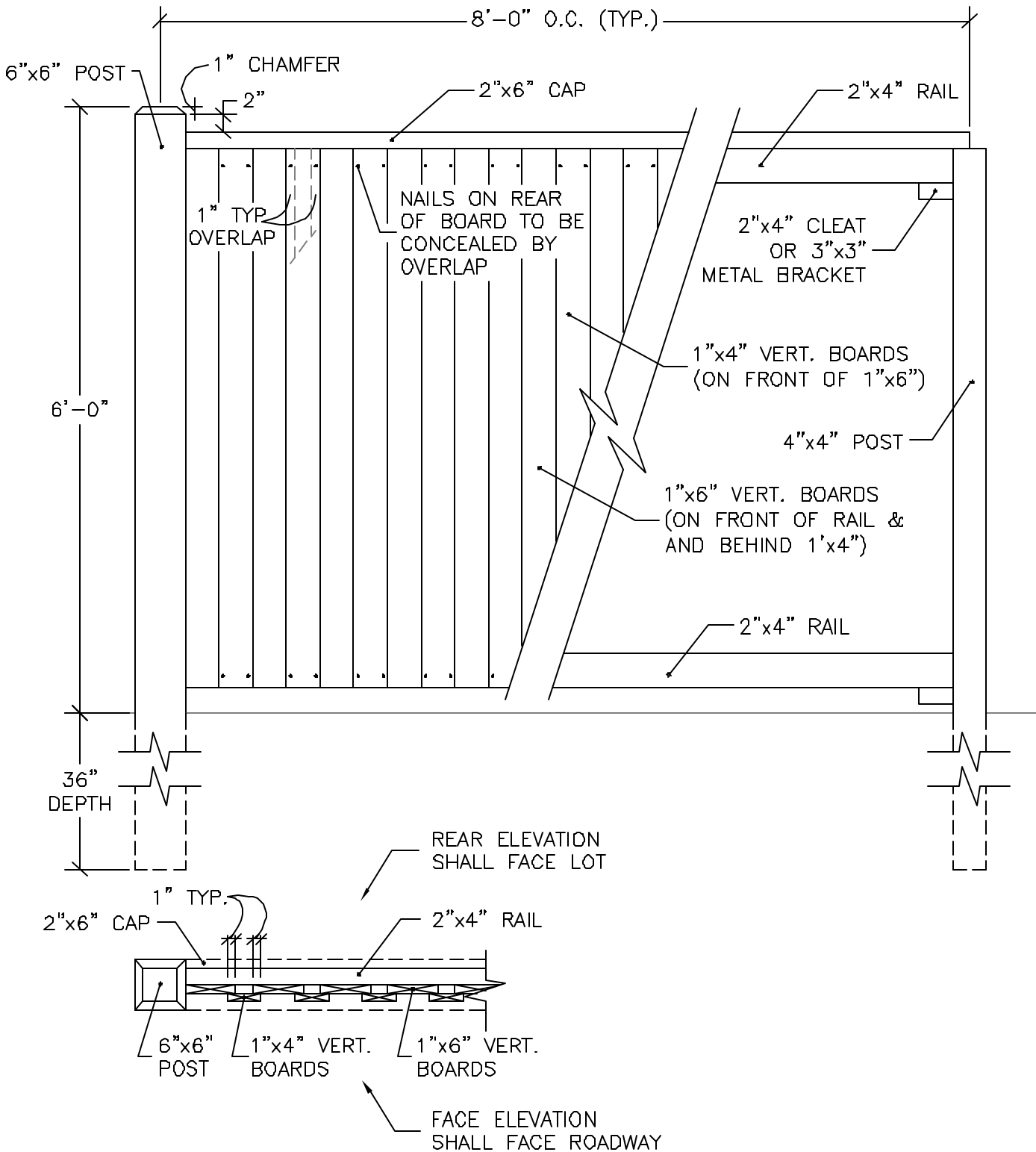
## **FENCES**

# MEADOWBROOK WOODS

## Acoustical Fence Detail

Scale:  $\frac{3}{4}'' = 1'-0''$

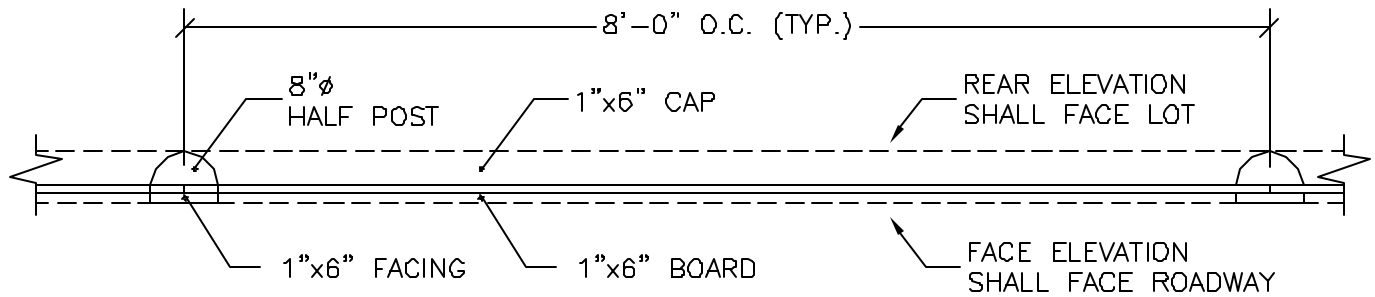
THE ACOUSTICAL FENCE IS RESERVED FOR CROSSPOINTE BOUNDARIES ADJACENT TO PUBLIC ROAD RIGHT OF WAY AND SHALL NOT BE USED FOR PRIVACY FENCING.



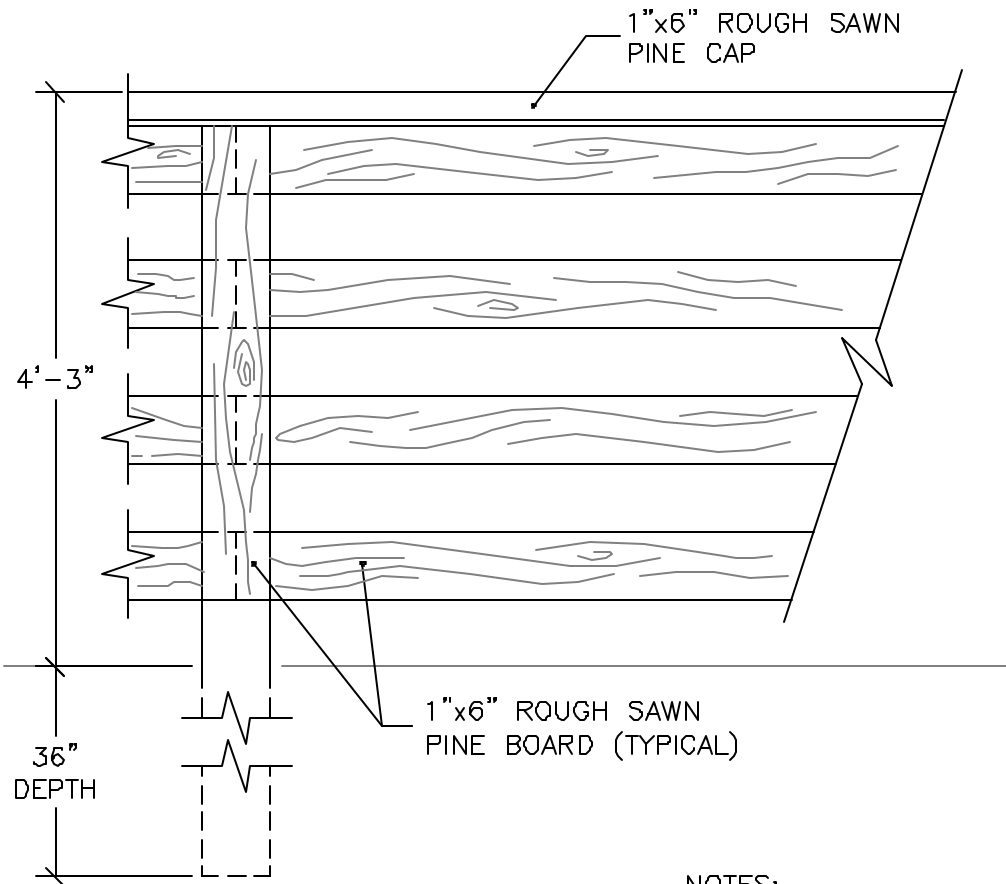
# MEADOWBROOK WOODS

Board Fence Detail

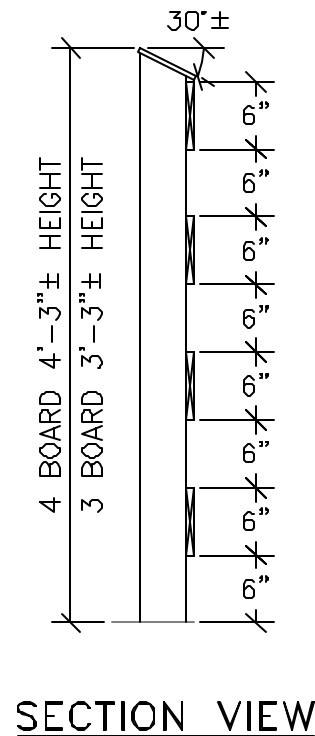
Scale:  $3/4" = 1'-0"$



PLAN VIEW



ELEVATION VIEW

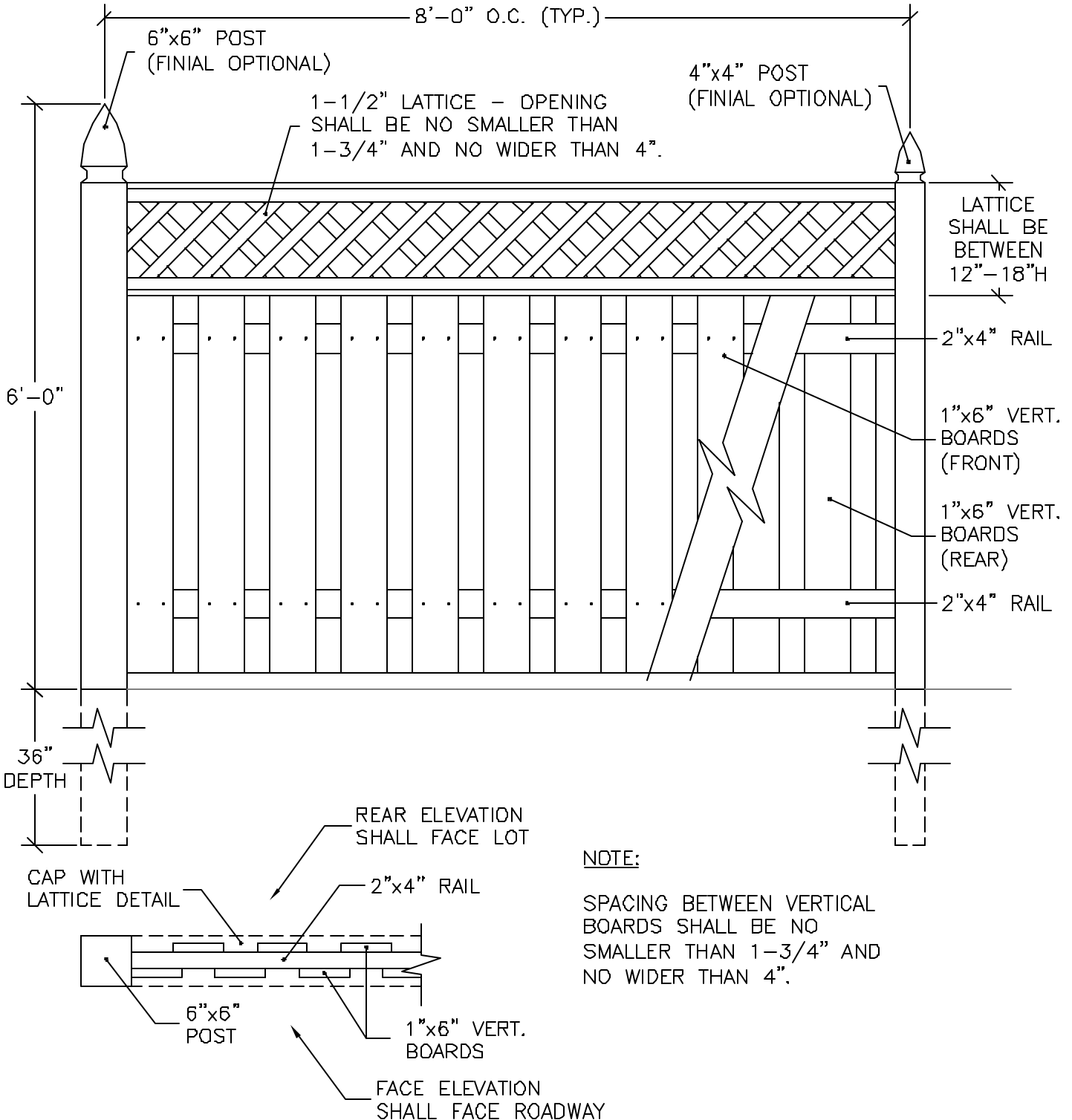


NOTES:

1. ALL WOOD TO BE ROUGH SAWN PINE OR CEDAR.
2. HARDWARE CLOTH LINING (GALVANIZED OR VINYL-COATED) OPTIONAL.

# MEADOWBROOK WOODS

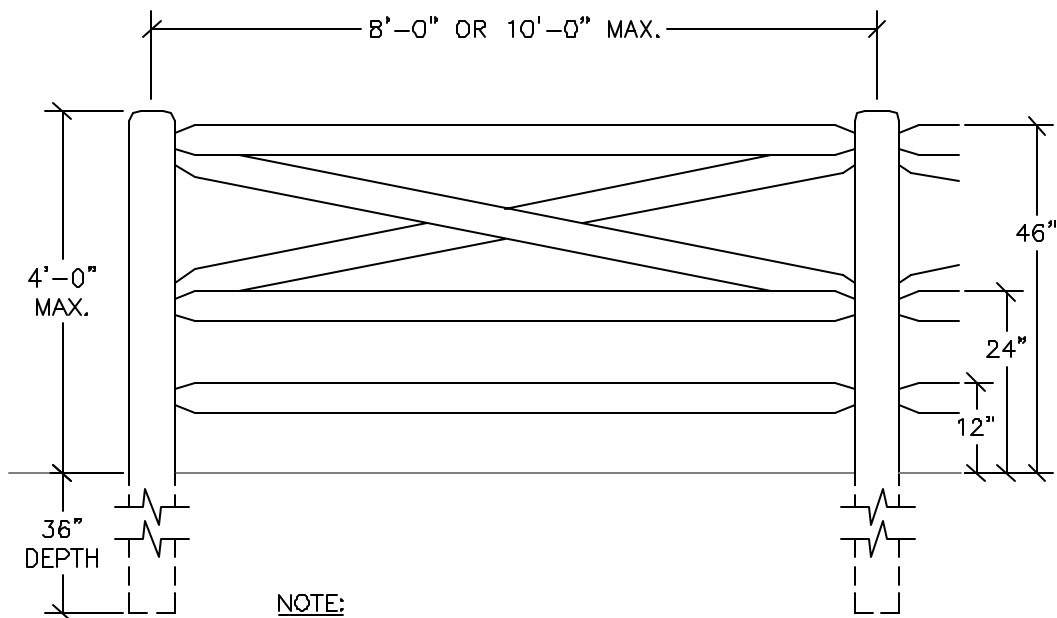
Board-on-Board with Lattice Fence Section 3/4" = 1'-0"



# MEADOWBROOK WOODS

Crossbuck Detail

Scale: 1/2" = 1'-0"



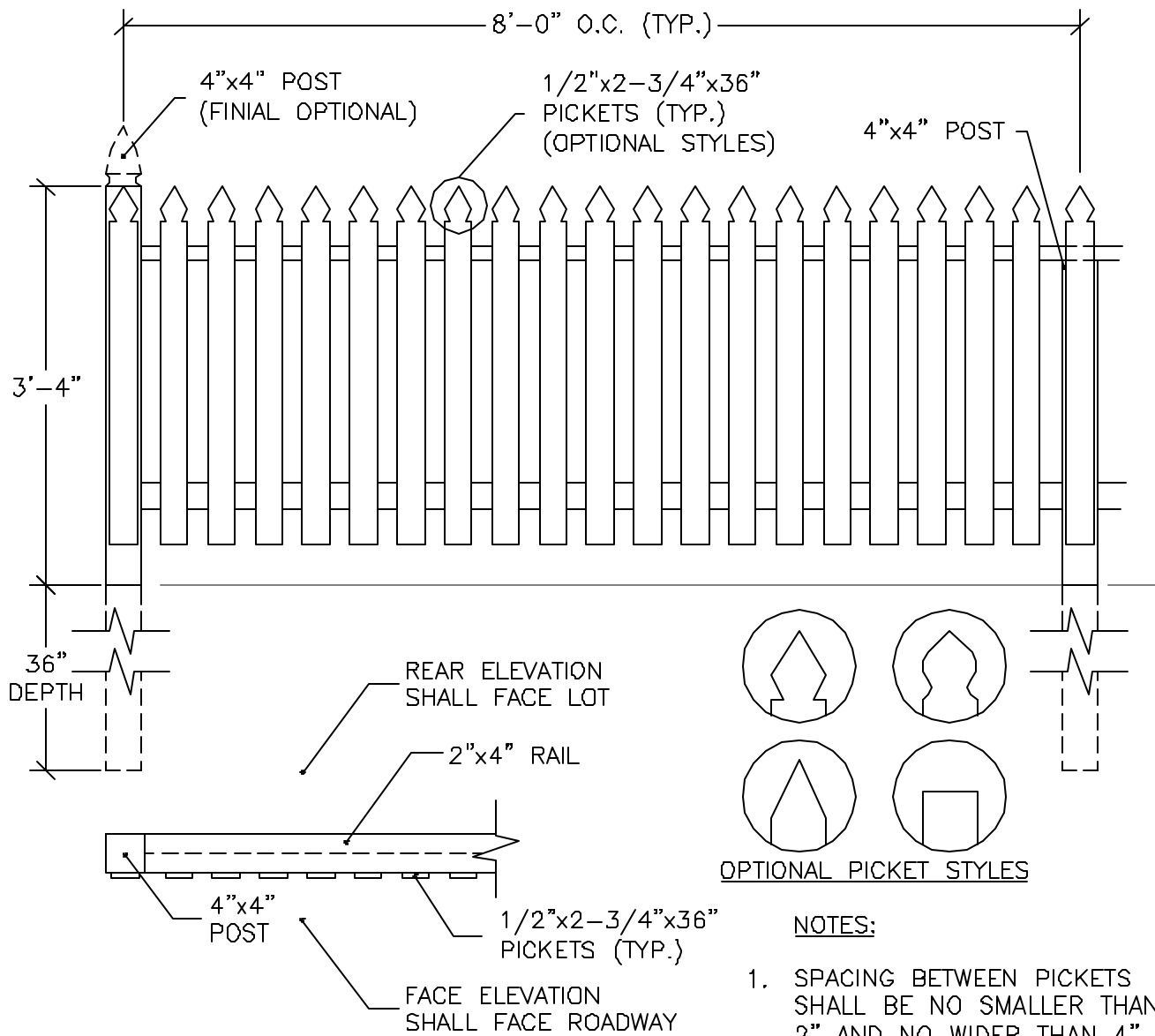
**NOTE:**

1. HARDWARE CLOTH LINING (GALVANIZED OR GREEN VINYL-COATED) OPTIONAL.

# MEADOWBROOK WOODS

Picket Fence Detail

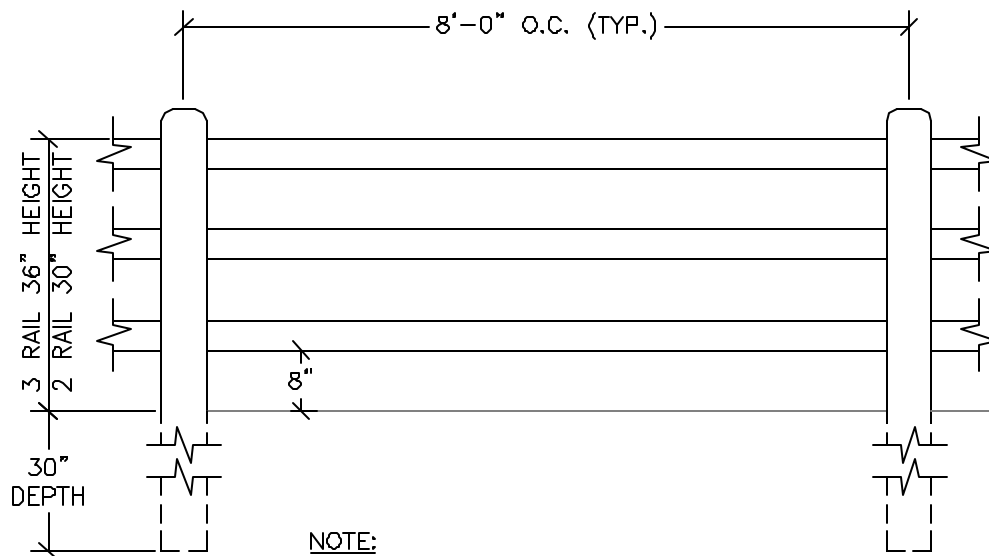
Scale:  $3/4" = 1'-0"$



# MEADOWBROOK WOODS

Split Rail Detail

Scale: 1/2" = 1'-0"

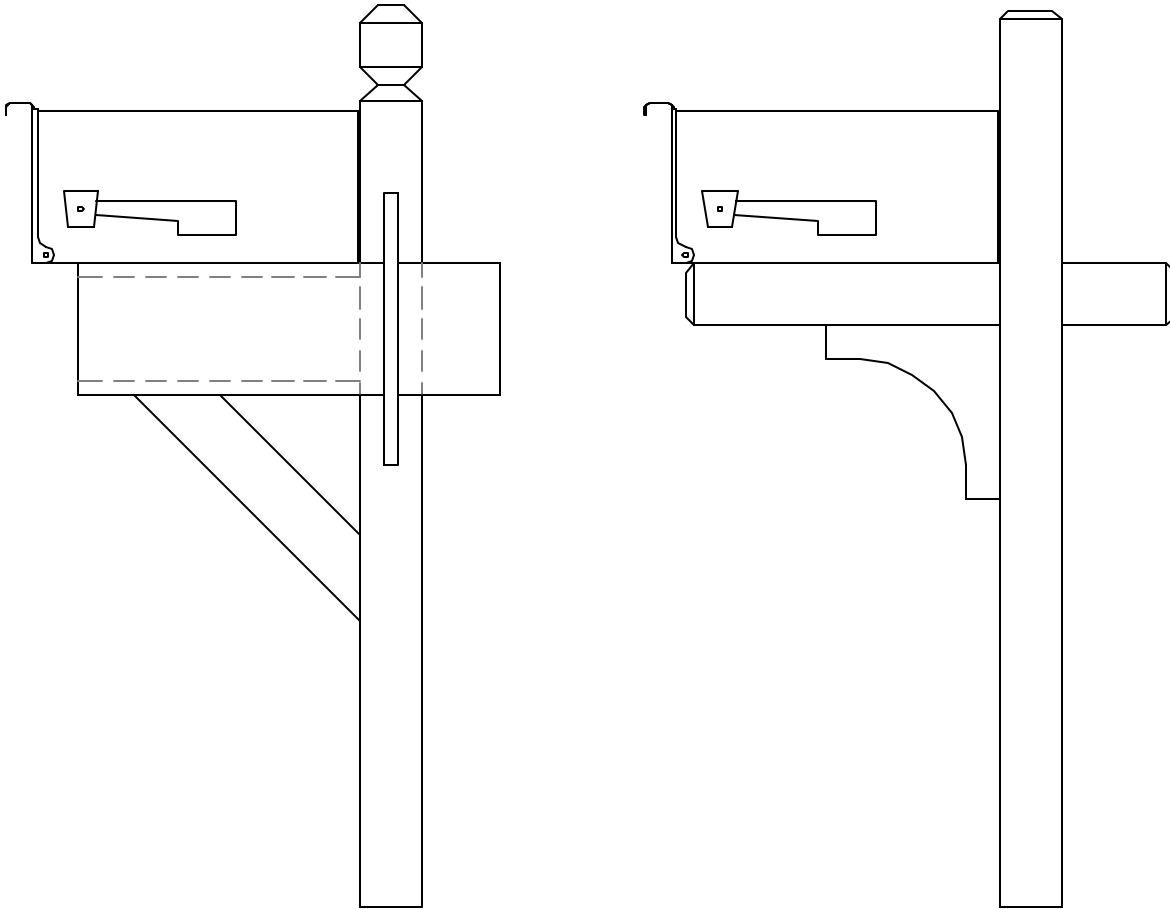


- NOTE:
1. HARDWARE CLOTH LINING (GALVANIZED OR GREEN VINYL-COATED) OPTIONAL.

# **APPENDIX B**

## **MAILBOXES**

# REPLACEMENT MAILBOXES & POSTS



SCALE: 1" = 1'-0"

**APPENDIX C**

**EXTERIOR ALTERATION  
APPLICATION FORM**

**MEADOWBROOK WOODS HOMEOWNERS ASSOCIATION, INC,  
ARCHITECTURAL REVIEW BOARD (ARB)  
EXTERIOR ALTERATION APPLICATION**

Name: \_\_\_\_\_ Section: \_\_\_\_\_ Lot: \_\_\_\_\_  
Address: \_\_\_\_\_ Phone (H): \_\_\_\_\_  
Start/Completion Dates: \_\_\_\_\_ Phone (W): \_\_\_\_\_  
Application for: \_\_\_\_\_

**(Please provide a complete, detailed description of the proposed change, including sketches, drawings, ETC., and show its location on a site plan (plat) for the property. Refer to the Architectural Guidelines for the information required. A checklist is provided in Appendix D of the Guidelines as a detail list of information needed with this application. (Use additional pages if required. )**

**For Decks and Fences:** “The ARB strongly recommends that the wood be allowed to weather naturally. Stains or paints of natural wood colors will be considered. Decks, railings, or trim painted to match the house will be considered.” (initials) \_\_\_\_\_

This application requires signatures of all adjoining property owners (properties that border the subject property, regardless of their view),

**Signatures indicate awareness, not approval or disapproval of the proposed alteration.**

Any adjoining property owners who have a concern regarding this application should contact the Association Property Management @ 703-803-9641, # 1119 or the ARB Chairman promptly after signing.

Name: \_\_\_\_\_ Lot: \_\_\_\_\_ Name: \_\_\_\_\_ Lot: \_\_\_\_\_

Address: \_\_\_\_\_ Address: \_\_\_\_\_

Signature: \_\_\_\_\_ Signature: \_\_\_\_\_

Name: \_\_\_\_\_ Lot: \_\_\_\_\_ Name: \_\_\_\_\_ Lot: \_\_\_\_\_

Address: \_\_\_\_\_ Address: \_\_\_\_\_

Signature: \_\_\_\_\_ Signature: \_\_\_\_\_

Check box if additional signatures are on a separate page

**I HAVE READ AND INITIALED THE CONDITIONS ON PAGE 2 OF THIS APPLICATION FORM.**

Owner’s Signature: \_\_\_\_\_ Date: \_\_\_\_\_

ARB ACTION:

Approve: \_\_\_\_\_ Disapprove: \_\_\_\_\_ More Information/Justification Needed: \_\_\_\_\_

Comments or Stipulations: \_\_\_\_\_

Signed: \_\_\_\_\_ Date: \_\_\_\_\_

(over)

Conditions applicable to this application:

1. I understand that compliance with the Meadowbrook Woods Architectural Guidelines and approval by the Architectural Review Board (ARB) do not necessarily constitute compliance with the building and zoning codes or provisions of Prince William County (note: County ordinance requires the applicant to file plans with the Building Inspector at the County Administration Building, 1 County Complex Court, Prince William Parkway (792-6924/6925), for alterations requiring a building permit). Further, nothing contained herein shall be construed as a waiver or modification of any Prince William County or Virginia Department of Transportation restrictions.
2. I understand and agree that no construction or exterior alteration shall commence without written approval of the ARB. If alterations are made prior to receiving approval, I *may* be required to return the property to its former condition at my own expense if this application is disapproved wholly or in part, and that I may be required to pay all legal expenses incurred.
3. I understand that members of the ARB are permitted to enter upon my property at any reasonable time for the purpose of evaluating the proposed project, and inspecting the on going and/or completed project, and that such entry does not constitute trespass.
4. I understand that any approval is contingent upon construction or alterations being completed in a professional-like manner.
5. An ARB decision on all applications for alteration is required within 45 calendar days of receipt of a properly completed application.
6. I understand that the alteration authority granted by this application will be revoked automatically if the alteration requested has not commenced within 180 days of the approval date of this application or has not been completed by the date specified by the ARB.
7. I understand that all work must be completed within 120 days of the start date.
8. I understand hired contractors are not permitted to display advertising or signage on my property.

**IF YOU DISAGREE WITH THE DECISION, AN APPEALS PROCEDURE IS PROVIDED BY THE MEADOWBROOK WOODS HOMEOWNERS ASSOCIATION BOARD OF DIRECTORS. A WRITTEN REQUEST MUST BE MADE WITHIN 10 DAYS OF RECEIPT OF THE ARB'S DECISION.**

Please mail the completed, original application and any supporting documents (i.e. drawings, illustrations, plans, plats, etc.) to:

Meadowbrook Woods Homeowners Association  
c/o Sequoia Management Company, Inc.  
13998 Parkeast Circle  
Chantilly, VA 20151-2283

If you have any questions about this application or the Architectural Guidelines, please contact the Meadowbrook Woods Homeowners Association Manager Office at (703) 803-9641, #1119.

(initials)

**“I have read and understand these conditions “**

\_\_\_\_\_

## **APPENDIX D**

### **APPLICATION CHECKLIST**

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# APPLICATION CHECKLIST

## GENERAL

### Identify:

- Property and ownership with contact information.
- Estimated start and completion dates

### Include:

- Signatures of adjacent homeowners (all neighbors that border property).
- Applicant signature and initials, where required.

## EXTERIOR CHANGES:

### ARBOR – See Trellis/Arbor

**AWNINGS** (Awnings and trellises consistent with house design and compatible with architectural character)

### Identify:

- Style
- Color (Awnings solid colors only, frames to match trim, siding or dominant color of house)
- Materials
- Location (not adversely affecting views, light, or natural ventilation of adjacent properties)
- Dimensions

### Include:

- Picture and/or detailed drawing
- Site plan showing relation to house, property line and adjacent neighbors

**CHIMNEYS** (Masonry or enclosed)

### Identify:

- Material – (If brick on used and house already has brick, brick color must match. If enclosed same materials and same color as house siding.)
- Dimensions
- Color of chimney cap paint (to match roof).

### Include:

- Picture and/or detailed drawing
- Site Plat with location as related to house, property line and adjacent neighbors

**COMPOST PILES** (discouraged but allowed if properly maintained so it is not offensive to neighbors)

### Identify:

- Material (acceptable wooden outside frame with wire or block interior)
- Compliance with 6” layer of straw on top at all times.
- Dimensions (not greater than 4’ high and 6’ x 6’ in outside dimension)
- Location (at least 10’ from lot lines and in rear of house)

### Include:

- Screen-planting plan
- Site plan with location and size as it relates to house, property line and neighbors.
- Photo or detailed drawing of structure

## DECKS/PATIOS

### ❑ Patios

#### Identify:

- ❑ Dimensions
- ❑ Materials
- ❑ Color
- ❑ Grading or drainage changes

#### Include:

- ❑ Site plat showing location and size as it relates to house, property lines and adjacent houses.

### ❑ Ground Level Deck (24 inches or less) –

#### Identify:

- ❑ Dimensions
- ❑ Color
- ❑ Materials
- ❑ Grading or drainage changes

#### Include:

- ❑ Site plat showing location and size as it relates to house, property lines and adjacent houses.

### ❑ Elevated–

#### Identify:

- ❑ Dimensions  
(ARB strongly recommends using 6”by 6” vertical deck supports w/decks more than 4’ above ground)
  - # Overall Dimensions (width, depth, height)
  - # deck railings
  - # stairs
  - # Other components (if applicable)
- ❑ Materials (specify for each)
  - # Deck base
  - # Railing
  - # Balusters
  - # Trim
  - # Trellis/wall (if used)
  - # Other components (if applicable)
- ❑ Colors (specify for each)  
(Recommend wood to weather naturally. Stains or paints of natural wood colors considered. Deck railings or trim color painted to match house considered.)
  - # Deck base
  - # Railing
  - # Balusters
  - # Trim
  - # Trellis/wall (if used)
  - # Other components (if applicable)
- ❑ Indicate if under deck storage will be used
  - # specify whether trellis work or solid walls will be used
- ❑ Height above grade
  - # If height above grade is greater than 5’ specify landscaping of a permanent nature around the supports (or trellis/walls if used) and indicate on plat.
- ❑ Grading and drainage changes
- ❑ Detail of changes to windows or doors, if applicable.

#### Include :

- ❑ Site plat showing location as it relates to house, lot, and adjacent properties and showing size, shape and dimensions.
- ❑ Photograph and/or sketch

## **DECORATIVE OBJECTS (External)**

### **Identify:**

- Size
- Style
- Color
- Material
- Location

### **Include:**

- site plat showing relation and size of object to house, property line and adjacent neighbors.
- Picture or detailed drawing of object

## **DOG HOUSES AND ANIMAL-ENTRY DOORS**

(Dog runs not allowed. Animal entry doors only into fenced area where animal is restricted.)

### **Identify:**

- Material (compatible with applicant's house)
- Color (compatible with applicant's house)
- Dimensions
- Architectural style (compatible with house)
- Location (where visually unobtrusive)

### **Include:**

- Site plat with location and proportionate size as related to house property line and adjacent neighbors.
- Picture and/or detailed drawing
- Landscape plans to complement and/or screen dog house

## **DRIVEWAYS (extensions and additions)**

### **Identify:**

- Dimension
- Material (extensions must be constructed using same material as existing driveway)

### **Include:**

- Site plat showing location and size as it relates to house and adjoining properties

## **FENCES**

### **Identify:**

- Fence Type from Appendix A
- Fence Height
- Gate type (specify same design, material and height as fence)
- Material (Pressure Treated/Cedar/Redwood)
- Specify if Wire Mesh will be used (identify guideline permitted size, color and type)
- Specify if staining is requested. (only natural wood color stain permitted)

### **Include:**

- Color of stain (if applicable)
- Site plat showing location of fence. (see guidelines for locations permitted)

## **FLAGPOLES** (except temporary flagpoles less than 6' in length & attached to front wall or pillar)

### **Identify:**

- Dimensions
- Material
- Colors

### **Include:**

- Site plat showing relation of pole to the house, property line and adjacent neighbors
- Picture and/or detailed drawing of pole

**GARDENS (see Landscaping)**

**GREENHOUSE (Attached) – See Room Addition**

Detached greenhouses are not allowed.

**GRILLS AND BARBECUE PITS (Permanent)**

(permitted in rear yards only not within 10' of side or rear property lines)

**Identify:**

- Dimensions
- Material

**Include :**

- Picture and/or detailed drawing
- Site plat showing relation to house, property line and adjacent neighbors

**LANDSCAPING/GARDENS (other than single plantings)**

**General Plantings**

Hedges or other features which, in effect, become structures, fences or screen

**Identify:**

- Material
- Size

**Include :**

- Site plat showing relation to house, property line and adjacent neighbors

**Borders/Garden Walls**

Railroad ties, garden timbers, stones or other materials that form a wall over 12" high for length of 8' or more require an application.

**Identify:**

- Material
- Any grading changes
- Size

**Include :**

- Site plat showing relation to house, property line and adjacent neighbors

**Landscape Lighting – See Lighting**

**Retaining Walls** (walls over 3 feet in height may also require county permit)

**Identify:**

- Material (railroad ties, landscaping timbers, stones, brick or reinforced concrete)
- Dimensions

**Include:**

- Site plat showing location and relationship to house, property lines and adjacent property.

**Rock Garden** (rock gardens, collection of rocks, and single rocks exceeding 24")

All rocks shall remain their natural color.

**Identify:**

- Size

**Include :**

- Site plat showing relation to house, property line and adjacent neighbors

**❑ Vegetable Garden**

Application required only if it does 'not meet' the following conditions

- # located between rear line of house and rear property line and sidelines of house.
- # size does not exceed ¼ of area rear yard.
- # flow of water does not damage other property.
- # no borders or enclosure materials are used.

**Identify:**

- Size
- Materials for border, fencing or any type of enclosure
- Location

**Include:**

- Site plat showing relation to house, property line and adjacent neighbors

**LIGHTING (Exterior)**

**Identify:**

- Number of lights
- Dimensions
- Height (above ground)
- Wattage of bulb to be used
- Location

**Include :**

- Site plat showing location in relation to house, property line and adjacent neighbors.
- Picture and/or detailed drawing

**MAILBOXES**

**Identify:**

- Mailbox size
- Mailbox color (black only)
- Post style
- Post material
- Post color

**Include :**

- Picture and/or detailed drawing to indicate and specify design

**PAINTING (Exterior) - Painting other than original color**

**Identify:**

- Structure to be painted
- Existing exterior colors on the house and appurtenant structures.
- Proposed exterior colors (see Guideline section for color guidelines )

**Include :**

- Color samples

**PONDS/WATER FEATURES**

**Identify:**

- Location
- Size (dimensions with consideration for lot size, design)
- Materials
- Colors

**Include :**

- Site plat showing location in relation to house, property line and adjacent neighbors.
- Picture and/or detailed drawing

## **RECREATION & PLAY EQUIPMENT**

### **Identify:**

- Location (rear of property with except for basketball poles & backboards)
- Size (dimensions with consideration for lot size, design and visual screening)
- Materials (Wood is encouraged, or identify other material allowed in guidelines)
- Color of equipment
  - # If metal equipment is to be painted, specify a dark earth tone color (exclusive of wearing surfaces: slide poles, climbing rungs, etc).
  - # Basketball Backboards: Identify colors to match/blend with background (house or structure)
  - # Basketball Freestanding: Identify earth tone colors to blend with natural surroundings.
- Playset:
  - # describe base or borders to be built and materials used (if applicable)
- Goals for minimizing its visual impact.

### **Include:**

- Site Plat identifying location, size as it relates to house, property lines and adjacent houses
- Photograph and/or sketch.

## **RETAINING WALLS – See Landscaping/Gardens**

## **ROCK GARDENS – See Landscaping/Gardens**

## **ROOM ADDITION**

### **Identify:**

- Material (all components to match existing house)
  - # Structure (siding, brick, etc)
  - # roofing
  - # windows
- Dimensions
- elevations
- Colors ( to match existing house colors)

### **Include:**

- architectural drawings
- site plat showing location of proposed structure and relationship to property lines and adjacent houses.
- Photograph and/or sketch

## **SCREEN PORCHES & SUN ROOMS (ATTACHED) -See Room Addition**

## **SIDEWALKS/PATHWAYS**

### **Identify:**

- Dimensions
- Material
- Color
- Location (include grading changes, if applicable. Minimum 4' setback from property line)

### **Include :**

- Picture and/or detailed drawing
- Site plat showing relation to house, property line and adjacent neighbors

## **SOLAR ENERGY DEVICES**

### **Identify:**

- location (on rear side of roofs flush or elevated. If elevated, will not extend above roof peak so they are visible from yards of facing houses across streets. No other locations permitted.)

**Include:**

- Site plat with location and size and location of roof peaks
- Photograph of similarly installed units.

**SPAS & HOT TUBS**

**Identify:**

- Size
- Type
- Location (rear yard with minimum 5' setback from property line)
- Water supply and drainage
- Screening and/or landscaping to minimize visual impact.

**Include:**

- Site plat showing location, dimensions and screening in relation to house, property line and adjacent properties.
- Photograph and/or sketch.

**STORM AND SCREEN DOORS**

**Identify:**

- Color (same as entry doors or surrounding trim)
- Style/Design (minimum ornamentation limited to the border of the glass pane on the door)

**Include:**

- Picture and/or detailed drawing.

**SWIMMING POOLS**

Only in-ground pools are permitted and must be located in the rear of the house

**Identify:**

- Distance from property lines (no closer than 5 feet)
- Percentage of back yard (not greater than 50%)
- Identify water supply system, drainage and water disposal system.
- Fencing (see Guideline section for Fences)
  - # Type
  - # Height
  - # Material
  - # other specifics (as required by county and ARB guidelines for fences)
  - # Landscaping plan for outside of fencing if not placed on property boundaries

**Include:**

- site plat showing location, dimensions, other related equipment, fences in relation to house, property lines, and adjacent houses.
- Detailed drawings and plans including deck area, lighting, walkways, etc. in accordance with appropriate guidelines.

**TREE REMOVAL** (trees over 2" in diameter)

**Identify:**

- Tree type
- Size

**Include:**

- Site plat showing location in relation to house, property line and adjacent properties.

**Limitations** on cutting trees greater than 4" in diameter and greater than 2" in diameter for flowering trees (such as dogwood or redbud) or any live vegetation on slopes of greater than 20% gradient. Residents are advised to consult the County Arborist for compliance with county ordinances on tree cutting.

## **TRELLIS/ARBOR/GAZEBO**

### **Identify:**

- Style
- Color (natural wood or match trim, deck or dominant color of house, if attached to house or deck)
- Materials
- Location (not adversely affecting views, light, or natural ventilation or drainage on adjacent properties)
- Dimensions

### **Include:**

- Picture and/or detailed drawing
- Site plat showing relation to house, property line and adjacent neighbors

## **VEGETABLE GARDEN – See Landscaping/Gardens**